

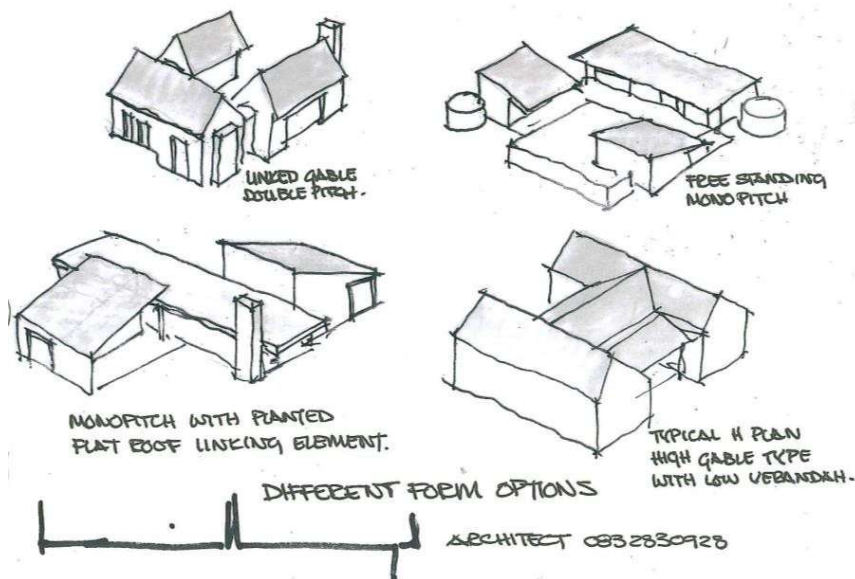


# SPRINGVALE

COUNTRY ESTATE

## ARCHITECTURAL PHILOSOPHY

The Architecture of Springvale Farm will be harmonious with the landscape and reflect the values of quintessential farm-style architecture. For those who value space and freedom, the philosophy of Springvale is one of simplicity, respect of the landscape, nature and views, and courtyard living.



### AN ARCHITECTURE OF FARM-STYLE LIVING

The homestead will be designed following simple, fragmented building forms, and importantly, the spaces between the buildings. This creates a courtyard architecture, with the outside spaces being as important as the inside.

The landscape will be an extension of the farm design, with some order and discipline, close to the buildings and softening as it connects to the natural surrounds of the site boundary.

*January 2025*



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The old farm feeling of belonging in the landscape and not being imposed onto it, is important in the overall reading of each site.

Buildings will take on the lie of the land, blending into the topography.



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## DESIGN CODE

### INTRODUCTION

The architectural design code for Springvale Farm is embodied in 5 fundamentals, as stipulated below:

**1: PLANNING AND ENCLOSURE**

**2: ROOFS**

**3: SUSTAINABILITY AND SERVICES**

**4: MATERIALS**

**5: LANDSCAPING (Separate document)**

The intention of the code is to help create beautiful and considered homes with a common thread of farm-style and contemporary living with careful thought taken of the unique climatic conditions of the area.

The buildings must be fragmented with broken down elements linked via covered /enclosed walkways and pergolas, reducing the overall impact of the structure when viewed from the outside and common areas of the estate.

This fragmentation will also engage with the natural environment and include internalised courtyards and gardens.

The buildings will have a layered depth with the inclusion of extensive patio areas, timber screens and shutters. This is also done to address climatic factors of the area.



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## PLANNING AND ENCLOSURE

The houses have been placed to best enjoy the specific aspect of the property with the stipulation of building envelopes per site

The ethos is one of farm style living, whether contemporary or more traditional will create a diverse yet coherent feel to the estate-as-a-whole.

The original farmhouses were simple, often a rectangular house of a few rooms. They were then added to, as the family expanded, or circumstances changed. This created the more sprawling, fragmented architecture of the farmhouse that we envision.

The majority of the farmhouses are single storey. The houses generally must remain single storey in nature, with the occasional use of the roof space as loft – to a maximum of 30% of roofed area to a maximum of 50sqm whichever is lessor but disguised to avoid it looking like a double storey house - balconies are not allowed Wall plate height still to remain 4.5m to finished ground level.

The houses must have a primary or core space, with secondary spaces. They must be fragmented in overall form, separating out spaces, to avoid large overbearing single structures.

The primary spaces may not exceed 6.5m in width in total dimension.

Secondary spaces must be in proportion to the primary spaces. The maximum width of the secondary spaces shall be 4.5 m (or wider on merit)

Variation to the width of the primary space will be allowed on the basis of architectural merit and will have to apply for relaxation through the committee.

Garages may be separate from the house. Carports may be included but also integrated into the overall design and not temporary in feel and look.



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The building envelope of each site is unique and has been stipulated in the building footprint attached to the signed sales agreement.

The intention of the pre-determined envelope is to protect each site's privacy, views, and natural movement of animals, as well as maximising the value of your site.

Each site must be surrounded by dense landscaping on at least 3 sides of the site.

This landscaping can be done within the planting zones with the building lines.

The basic regulation is that the fences must be along the stipulated fence line as per the building footprint. Pool fencing must comply with SANS regulations and Local Authority. Pool fence must be 1.2m high, non-climbable with a self-closing and self-latching gate. Walls of no more than 1200 mm may be used along the building line as a fence line, but only as features and not dominate or surround the house or building envelope.

All plots along the boundary wall cannot fence right up to the wall. A security servitude runs along the boundary to allow for access for the security to do monitoring and patrolling and for ease of response in case of any breaches along the boundary wall. You can fence your plot up to 3m of the boundary wall.

Building lines are stipulated on the building footprints attached to the signed sales agreement. No hard structures to be built outside the building lines except driveways and, if required, 1200 mm boundary walls on the fence line. Walls may not be built within the 12m non-development zone next to wetland boundary.

Houses must not dominate the front road visual and adhere to the building line setbacks.

Screens up to 2000mm in height will be approved on merit.



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Entrance gates and future entrance walls are allowed out of the stipulated building lines. Gates to be approved on application with the idea that they will not dominate or deter from the overall feel of the estate. They must also be in keeping with the ethos of the estate.

A minimum of 150sqm overall built area is required.

Siting of the Buildings must be carefully considered within the building envelope, to maximise views, give sun and prevailing wind protection.

Swimming pools and other constructed water elements are restricted to within the Building Envelope

Minimal intervention of the land in terms of cut and fill will be allowed, with a maximum of 3m retaining walls allowed at the 'hidden' area of the site. And not more than 1.5m platform height will be allowed at the 'garden' section of the site.

This will create a terraced effect on the steeper slopes.

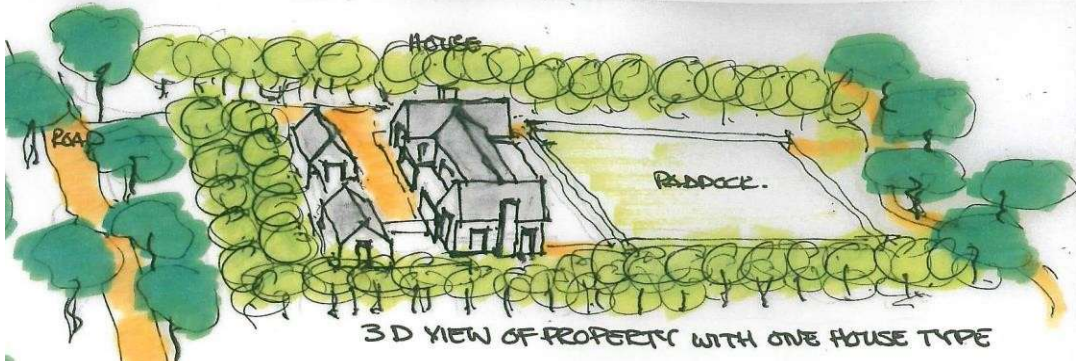
Driven by site orientation, slope conditions, neighbours, roads, and programme, the plan form may include liners pavilions, internal courtyards, fragmented courtyard arrangements, and multiple buildings forming the courtyards.

When cutting platforms and you have a steep bank, it must be planted with strips of grass planted at 500mm intervals to prevent soil erosion into the streams

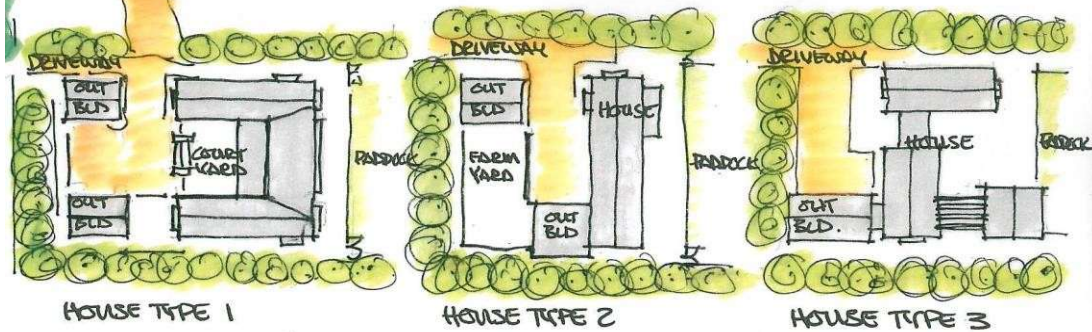


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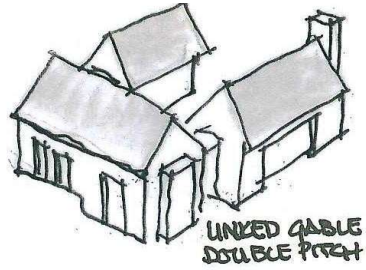
3D VIEW OF PROPERTY WITH ONE HOUSE TYPE



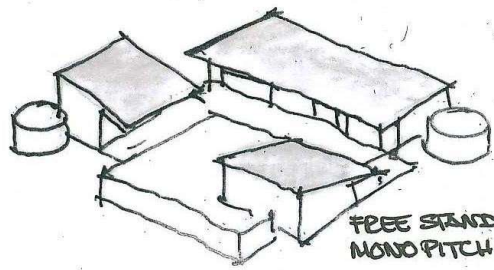
HOUSE TYPE 1

HOUSE TYPE 2

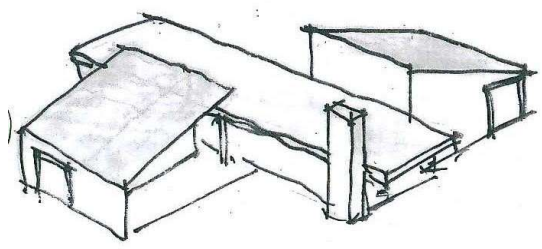
HOUSE TYPE 3



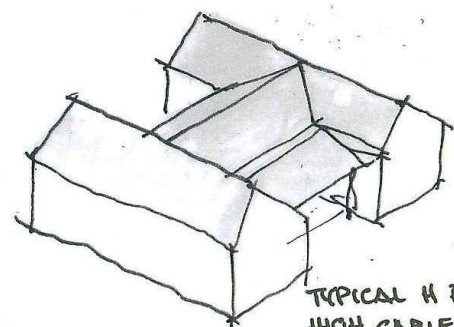
LINKED GABLE DOUBLE PITCH.



FREE STANDING MONO PITCH



MONOPITCH WITH PLANTED FLAT ROOF LINKING ELEMENT.



TYPICAL H PLAN HIGH GABLE TYPE WITH LOW VERANDAH.

## DIFFERENT FORM OPTIONS



ARCHITECT 083 2830928



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## SUSTAINABILITY AND SERVICES

The roof ethos is one of simplicity, with minimal use of hips and junctions. The idea of separate forms linked via flat roofs is promoted.

No exposed geysers will be allowed on the roof, and solar panels must be flush with the roof plane, with no silver trims.

Skylights must be flush with the roof plane. Dormer windows will be accepted per application on architectural merit.

Roof angles from 35 deg to 45 deg may be used. Double pitched roofs as well as Mono-pitched roofs are acceptable. Mono pitched roofs may have roof angles between 10deg and 15deg. 3 deg for flat sheeted roofs. Lean-to veranda roof or 3 degrees flat sheeted roofs are acceptable. Flat roofs are acceptable, complimentary to the overall design, up to 50% of the house size. They must be covered with sod, stone chip and other mediums accepted by the panel.

All components servicing water, including stormwater, sewerage and water supply reticulation, geysers and solar heaters, are to be built into the structure, or fully concealed in an integrated fashion.

Water harvesting is encouraged. This can be subterranean tanks or exposed corrugated tanks to compliment the design. Alternatively, if located on the groundplane, it must be integrated into the design of the home and match the colours of the home.



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All electrical services are to be built into the structure or fully concealed in an integrated fashion. Generators require audio attenuation. Solar panels can be floormounted but must be concealed from any neighbouring views.

External lighting demands careful consideration to ensure sensitive integration into the building design and is required to be kept at a minimum to alleviate extensive light pollution. External light fittings must face upwards or downwards, not outwards. Warm white globes are to be used for the light fittings.

Use lights that are shielded or directed downwards to prevent light from spilling into neighbouring properties or onto roads. This ensures that the light serves its intended purpose without causing disturbances.

Generators will be allowed but will need to adhere to the generator protocols - which will stipulate a maximum sound and decibel requirement. Similarly, noisy wood working machinery and the likes are to be used in rooms soundproofed enough to achieve the desired sound limits.



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## GENERATOR POLICY

This policy has been compiled through a number of extracts from various sources and based on literature from experts in the safe use and operation of generation equipment. Standby generators are often seen by the general public as a simple “plug and play” device but if not installed by a qualified official it could be lethal to the homeowner as well as the neighbouring properties. The areas of most notable concern are the following:

- 1.) Electrical Safety
  - 2.) Fuel Storage
  - 3.) Environmental Control
    - Noise Pollution
    - Air Pollution
1. The placement and position of the equipment is critical and is probably the most important factor when considering the acquisition of a generator. The unit must be placed to ensure that the sound factor is aligned to the dBA ratings for the maximum in the various living areas that are stipulated in the Annex A Table. Furthermore, one is to ensure that your neighbour’s living spaces are also accommodated for.
  2. The placement of the unit must also provide for the disbursing of the gases into the atmosphere and not to be allowed to remain in an enclosed area such as a courtyard that will cause the build-up of the carbon monoxide and flow into the house through open doors and windows. The minimum safe distance from a living unit is 4,5 meters which is based on numerous tests and as recommended by manufacturers for domestic use.
  3. The unit must be rated as an ultra/super silent generator to ensure that the sound pollution is kept to a minimum.



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4. Storage of fuel must be placed and locked in an area where the risk of potential fire is eliminated as well as safe from access by children.
5. The size and capacity of the generator should be based on the estimated load for the property
6. The range of units for the freehold housing would be in the 16 to 25kW capacity.
7. The maximum noise level at a distance shall not be greater than 55dBA. This would mean that all installed units irrespective of load output may not be louder than 55 dBA from a distance of 7 meters.
8. The Homeowner is required to apply for permission to install a standby generator together with the machine supplier specification and the owner is to provide proof that the installer is a fully competent and certified person who will provide a certificate of compliance on completion of the work. Should the standby plant fail to meet the requirement of 55dBA at 7 meters then the unit shall be removed from site.



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## SITE LAYOUT PHILOSOPHY

All Photovoltaic cell arrays, satellite dishes, radio aerials, or other electrical components are permitted to be attached to the building, but must not be visible to neighbouring sites, or must be fully screened and/or integrated. Photovoltaic cells can be mounted on the roof, in the plain of the roof, with black or charcoal fixtures to match the roof colour.

Washing lines, laundry driers, gas bottles, need to be fully screened or integrated into the utility yards and not visible from the road boundary, or conservancy areas.

Careful consideration of building materials must be taken, with emphasis on sustainably sourced items.

Boats, trailers, Caravans, Bikes and other accessories must be hidden from the road frontage and parked/stored within the building envelope.

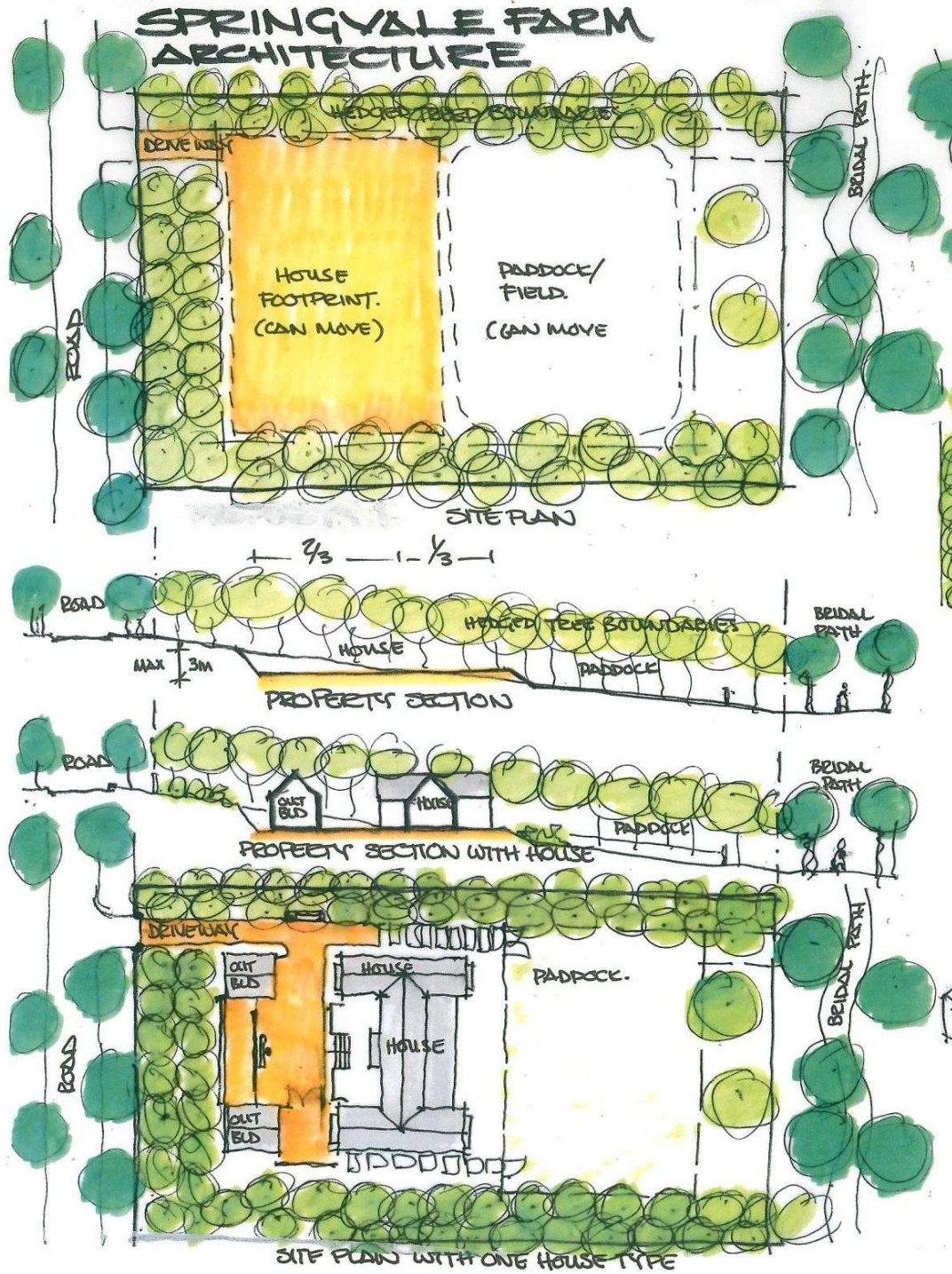
Refuse recycling will be encouraged. Separate bins and colour codes bags will be used for different waste products. Bins to be kept out of sight of road frontage and neighbours. A small bin area may be built to complement the house design.

External built elements such as greenhouses etc, must be in keeping with the overall feel of the home and not be an eyesore to neighbours. Details of these to be submitted to the Panel for approval.



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The concept of a minimal palette of materials through the estate will enhance the overall coherence of the estate as a whole.

<b>ROOFS</b>	
	ZincAlume Roof sheeting S-Profile - Sea Spray, Slate, Thunderstorm
	ZincAlume Roof Sheeting Cliplock 700 - Sea Spray, Slate, Thunderstorm
	Aluminium - profiles as above - Sea Spray, Slate, Thunderstorm
	Concrete Roof tile - flat - Grey. Spec to be confirmed
	Concrete Flat roof with stone finish or non-shiny waterproofing finish to be approved
	Roof Gardens
<b>WALLS</b>	
	Clay or Concrete commons
	Clay or concrete maxi's
	No elaborate plaster techniques.
	Bag-wash, painted brickwork and Ruled plaster is acceptable
	Face brick allowed up to 50% of design - Corobrick Firestone, Mampurra, greypalette to be accepted by panel
	Off-shutter concrete
	Timber cladding
	Light-weight steel frame homes allowed.
	Shiplap boarding allowed
	Steel and glass frame accepted



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## WINDOWS & DOORS

Powder coated Aluminium - grey palette/white/brown/black

Timber - Natural/painted grey palette/white

No PVC allowed

Glazing to be clear Standard, Low E or Double glazing.

Tint allowed on non-visible windows to later spec.

Cottage pane accepted on application and merit.

## SHUTTERS & SCREENS

Timber Shutters and screens acceptable.

Aluminium Shutters and screens acceptable

Shutters must be movable and not mere decoration.

Storm Blinds, shear weave or similar approved accepted to specific colours tbc

Frameless glass accepted

## BALUSTRADES

Natural timber

Aluminium

S/S cabling

Metal

Frameless Glass Balustrades allowed set into concrete - no visible fixtures.

No Classical or overly decorated balustrading accepted. Balustrade detail to be included into submission drawings to the DRC



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<b>DRIVEWAY</b>	
	Concrete cobbles - All sizes
	Concrete strips - Jeep track
	Gravel and stonechip
	Approved clay pavers
	Install 2 x 110mm sleeve beneath the driveway 1m inside the boundary and 1m outside the boundary. This is to prevent the driveway being dug up should there be a fault in the main services lines. Place this 1m on either side of the driveway entrance.
	Only 1 driveway entrance per site allowed
	Provide sleeves for fibre connection from the manhole to the house
	Driveways that cross storm water berms and pathways are to be built so as to be level with the pathway and which does not impeach storm water flow.
<b>STONEMWORK</b>	
	Only Natural stone cladding
	Quartz, Sandstone, Slate allowed in any format.
	No fake, composite, or plastered feature 'stonework' allowed
<b>RETAINING WALLS</b>	
	Gabion stone retaining walls allowed
	Masonry and concrete core wall allowed
	Concrete retaining wall allowed
	Concrete block retaining walls allowed, in non- visible areas - and to be approved by Panel Concrete blocks to be specified and not built more than 2.5m in height.
	Timber log retaining walls allowed on signoff by an engineer.



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<b>FENCING</b>	Pool fencing to comply with council regulations – fence and any such gate therein shall be not less than 1.2 metres high, measured from the ground level, and shall not contain any opening that will permit the passage of a 100mm diameter ball. Details of the fencing must be noted on the submission plans for approval.
	Ferro-Art Flat top fencing allowed.
	Post and rail fencing with square mesh fence allowed as perimeter fencing to a maximum height of 1.5m. This may not be outside of the building lines. Encourage planting to hide the fence.
	Intengu fencing is not allowed.
	1.2m Wall (not retaining) along the fence line but not within the 12m non development zone next to wetland boundary
<b>DECKING</b>	
	Hardwood timbers
	H4 treated pine, plained.
	Salligna or other timber approved by DRC on application.
	No gum pole or rough timber to be used.
	No Creosote or boron treated wood to be visible.
	Composite timbers will be allowed on application due to colour and manufacturer specifications.
<b>PATIOS AND VERANDAHS</b>	
	Minimum 10% of house sqm to be patio/veranda space, but this can be enclosed. If enclosed on all sides, this space will be counted as part of the FAR.
	Verandah columns to be square/rectangular in shape. They may be timber, steel, concrete or brickwork. Stylistic columns are discouraged
	No 'Broekie lace' is permitted.
<b>HOUSE SIGNAGE</b>	
	To be similar to street signage and submitted to Architectural Panel for approval
	Signage to be placed at driveway entrance visible but not to block driver's views of cars and pedestrians.



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The building envelope is pre-determined for each site and are indicated on the relevant detailed site information analysis sheets. Below is the basic town planning regulations and estate specific protocols.

	SITES 1 -
Height	Dwellings to be single storey with a maximum height to the wall plate of 4.5m from Finished Ground Level (FGL). Top of roof to not exceed 7.5m at any point. Loft space can be included, but within the same controls as above, and to not exceed 30% of roofed area to a max of 50sqm and to be disguised so as not to look like a second storey.
FAR	0.35 - excl. garages, storerooms, basements, open verandas
Coverage	30%
Side Building Line	5m
Rear Building Line	5m
Rear Build-to line	10m
Front (street) Building Line	7.5m
Earthwork Platforms	Restricted in accordance with platform controls.
Driveway	Access over the building line to not exceed 3.5m. Only 1 entrance per site allowed Parking for 1 visitor's car must be provided on each site, not within building lines.
Sewer and Septic tank	Please refer to page 21 .... Engineer's specifications



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## ARCHITECTURAL PANEL CONDITIONS AND FEES

### Accreditation

All Professional Architects will be required to abide by the requirements of the Architectural Review Committee and Springvale Homeowners' Association rules governing Architects and Contractors and sign an Accreditation Agreement.

The Developer and the Homeowners' Association reserve the right to add or remove Architects from the approved panel.

### Procedures for Plan Approval for all Architects

- Architectural Review Committee meetings will be held. Architects must be present at these meetings to discuss their plans and architectural principles
  - An appointment must be scheduled with the Architectural Review Committee at least one week prior to the scheduled Architectural Review Committee meeting.
  
- STAGE 1 SKETCH PLAN SUBMISSION is to include but not limited to:
  - COPY OF TITLE DEEDS
  - Sketch drawings, and concept in 3D format
  
  - Preliminary site plan, roof plan and floor plans, in 2 D layout
    - Driveway layout
    - Any encroachments indicated
  - Prelim Earthworks - banks and retaining walls
  - Professional Survey included showing neighbours site or platform levels, and edge of house



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- Location of septic tanks and soakaways
- Engineers design for the septic tank and soakaway

Architectural cross sections of site showing relation with neighbours

- site levels and house elevations
- Engineers design for retaining walls
- FAR and Coverage indicated
- Sufficient information to see concept as well as compliance to regulations.
  - Height restriction lines
- STAGE 2 FINAL PLAN SUBMISSION is to include:
  - Full council level drawings
  - Door / Window Layouts and specification
- Engineers approved design for the septic tank and soakaway
  - Engineers approved design for retaining walls

The total cost for the above plan submissions, which covers a maximum of 3 presentations, is as per the Submission Fee structure, which can be subject to change periodically, which can be obtained from Springvale Offices. Payment will be required to be paid prior to the scheduled meeting.



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## ENGINEER'S SPECIFICATIONS FOR THE SEPTIC TANK AND SEWER SYSTEM

*\*\*\* As per Monoblock Consulting Civil, Geotechnical & Structural Engineers Percolation Test Report. Each site must do its own Geotech report.*

Due to the cohesive clay soils at a depth greater than 600mm across the proposed estate, it is recommended that all stormwater be attenuated (with the design of attenuation chambers) and disposed of into natural water courses. Soak-a-ways for stormwater disposal off each site is not recommended.

For wastewater and sewer disposal, the use of septic tank (plastic tank type) & soak away pit systems across the sites will function effectively, provided that the soak away pits are placed no deeper than 600mm into the in-situ soils and parallel to the contours. Furthermore, a minimum 1400 mm of suitable imported fill is to be placed on top of the areas where the soak-a-way pit systems are to be installed in order to provide sufficient cover and wetted perimeter to the system. Please ensure that a Geotech investigation is carried out prior to the design of the system.

Due to the sloping nature of all the sites, cut and fill platforms will probably be required to produce the house platform levels. It is suggested that the fill platforms be constructed using sandy soils and that the septic tank and soak away pits be placed within the sand in-situ material under the areas where fill material is going to be placed. In this manner the depth of material above the soak away will be increased, to the recommended minimum depth of 1400mm, thereby enhancing the wetted perimeter and percolation capacity of the system.

It is recommended to construct the septic tanks, soak away pits and evapotranspiration areas wider and longer than the specifications described in the eThekweni guideline for the design and approval of on site (sub surface) disposal of domestic sewage. The soak-a-way system should include a perforated pipe system 10m long.

A separate soak-a-way must be built to collect grey water.



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The actual length and width of the soak-a-way pits will be dependent on each site's configuration, the specifications described in the eTkekweni guidelines as well as SABS 0400-1990, PP10.4 – Table 1 which takes into consideration the number of bedrooms in each house

Due to high clay content we encourage the use of a residential sewer treatment plants. The water discharged is suitable for irrigation and is safe for the environment.

Preferred service providers would be Calcamite or Jojotanks.



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## SPRINGVALE VILLAGE – ARCHITECTURAL PHILOSOPHY

The overall look and feel for Springvale Village must be in accordance with the Springvale Farm code with the following allowances

	Sites
Height	Dwellings to be single story with a maximum height of 4,5m to wall plate from Natural Ground level. (NGL)
	Top of the roof to not exceed 7,5m at any point (not finished ground level).
	Loft Space to be included, but within the same controls as above, and not to exceed 30% of roofed area or a maximum of 50sqm whichever is lesser
	On certain steep sites, 1:5 slope, identified in red on the layout plan attached, homeowners may apply for relaxation to double story. If basement is viewed as one of these stories, the basement must be 100% below finished ground level viewed externally.
	With the intention that the height restriction will remain and that homes will look single story from the road. Specific importance is that the view from the back properties are not disrupted.
	Relaxation to allow double story is solely granted by the panel
FAR	50% excl garages, storerooms, basements and open verandas.
Coverage	50%



**SPRINGVALE**  
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**SPRINGVALE VILLAGE –  
ARCHITECTURAL PHILOSOPHY**

<b>Side Building line</b>	<b>1,5m</b>
<b>Rear Building line</b>	<b>1,5m except 0 to servitude / non-development zone – on 12m non development sites</b>
<b>Front (street) Building line</b>	<b>3m</b>
<b>Earthwork Platforms</b>	<b>Restricted in accordance with platform controls</b>
<b>Driveway</b>	<b>Garages to be set back far enough for visitors to park in front of garage doors. Properties in the Cul de Sac may fence to the boundary of their property.</b>
<b>Fencing</b>	<b>Can be done within 3m of the boundary wall. Fencing can be done on the boundary line Retaining walls on the boundary can be max 2m in height. Anything higher will be approved on application and merit</b>